

3
Afft
E

ADDITIONAL DEDICATORY INSTRUMENTS
for
TAYLOR LAKE ESTATES HOMEOWNERS ASSOCIATION, INC.

THE STATE OF TEXAS §

COUNTY OF HARRIS §

BEFORE ME, the undersigned authority, on this day personally appeared **Trisha Taylor Farine**, who, being by me first duly sworn, states on oath the following:

"My name is **Trisha Taylor Farine**, I am over twenty-one (21) years of age, of sound mind, capable of making this affidavit, authorized to make this affidavit, and personally acquainted with the facts herein stated:

"I am the attorney/agent of TAYLOR LAKE ESTATES HOMEOWNERS ASSOCIATION, INC. Pursuant with Section 202.006 of the Texas Property Code, the following documents are copies of the original official documents from the Association's files:

Resolution Regarding Perimeter Fencing

DATED this 19th day of November, 2014.

TAYLOR LAKE ESTATES HOMEOWNERS ASSOCIATION, INC.

BY: Trisha Taylor Farine
Trisha Taylor Farine, attorney/agent

(2)
102
moll
102

THE STATE OF TEXAS §

COUNTY OF HARRIS §

THIS INSTRUMENT was acknowledged before me on this the 19th day of November, 2014, by **Trisha Taylor Farine**, attorney/agent of TAYLOR LAKE ESTATES HOMEOWNERS ASSOCIATION, INC., a Texas non-profit corporation, on behalf of said corporation.



Cherylyne M. Owen
NOTARY PUBLIC IN AND FOR
THE STATE OF TEXAS

✓
After recording return to:
DAUGHTRY & JORDAN, P.C.
17044 El Camino Real
Houston, Texas 77058

RECEIVED

**TAYLOR LAKE ESTATES HOMEOWNERS ASSOCIATION, INC.
RESOLUTION REGARDING PERIMETER FENCING**

WHEREAS, Article 1396-2.02(15) of the Texas Non-Profit Corporation Act authorizes non-profit corporations to have and exercise all powers necessary or appropriate to effect any or all of the purposes for which the corporation is organized;

WHEREAS, Section 204.010(a)(6) of the Texas Property Code empowers the Association acting through its Board of Directors, to regulate the use, maintenance, repair, replacement, modification, and appearance of the subdivision; and

WHEREAS, Article II, Section 2 of the Declaration of Covenants, Conditions and Restrictions for Taylor Lake Estates, recorded under Harris County Clerk's Film Code No. 011-73-1359, et seq. (hereinafter the "Declaration"), gives the Association authority to promulgate Architectural Control Standards.

NOW THEREFORE, BE IT RESOLVED THAT: the following policy regarding the perimeter fences along Timber Cove Drive and Old Kirby Drive is hereby adopted:

PERIMETER FENCING ALONG TIMBER COVE DRIVE AND OLD KIRBY DRIVE

1. Any perimeter fences located within the easements along Timber Cove Drive and Old Kirby Drive are owned and maintained by Taylor Lake Estates Homeowners Association, Inc. (the "Association").
2. The Board of Directors of the Association, at its sole discretion, may determine from time to time whether such fences are in need of repair, maintenance or replacement. The Board of Directors of the Association also has exclusive authority to determine the style and/or appearance of such fences.
3. Homeowners whose lots abut said fencing shall not cause damage to the perimeter fence to be owned and maintained by the Association, including, but not limited to, allowing landscaping to damage the perimeter fence. Trees, landscaping, temporary structures or personal items belonging to homeowners shall not abut said fencing. Any landscaping or items which appear to be causing damage to the fence shall be removed within ten (10) days written notice to the lot owner. If such items are not removed within ten (10) days, the Association shall have them removed and the costs for same shall be charged to the lot owner pursuant to Article VII, Section 28 of the Declaration. The Board of Directors shall have authority to determine whether landscaping or personal items pose a danger of damaging the fence.

Adopted this 6 day of November, 2014, by at least a majority of the Board of Directors of the Association.

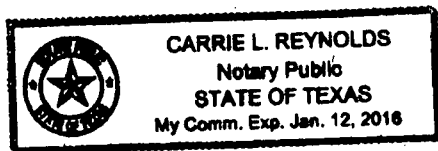
TAYLOR LAKE ESTATES
HOMEOWNERS ASSOCIATION, INC.

Norine Jaloway Gill
Secretary

Print Name: NORINE JALOWAY GILL

THE STATE OF TEXAS §
 §
COUNTY OF HARRIS §

THIS INSTRUMENT was acknowledged before me on this the 6 day of November, 2014, by the said Secretary of TAYLOR LAKE ESTATES HOMEOWNERS ASSOCIATION, INC., a Texas non-profit corporation, on behalf of said corporation.



Carrie L Reynolds
NOTARY PUBLIC IN AND FOR
THE STATE OF TEXAS

11-03-14 09:55 AM

TAYLOR LAKE ESTATES HOMEOWNERS ASSOCIATION COPY

RP 893-35-3056

COPY

UNOFFICIAL

FILED FOR RECORD
8:00 AM

NOV 25 2014

Stan Stewart
County Clerk, Harris County, Texas

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW.
THE STATE OF TEXAS
COUNTY OF HARRIS

I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me, and was duly RECORDED, in the Official Public Records of Real Property of Harris County, Texas

NOV 25 2014



Stan Stewart
COUNTY CLERK
HARRIS COUNTY, TEXAS